
CITY OF KELOWNA
MEMORANDUM

Date: July 9, 2008

To: City Manager

From: Planning & Development Services Department

APPLICATION NO.: DVP08-0071

OWNER: John Hawkins
Christine Hawkins

AT: 4042 Finch Road

APPLICANT: John Hawkins

PURPOSE: To vary the minimum front yard setback requirement from 6.0m required to 5.66m proposed.

EXISTING ZONE: RR3s – Rural Residential 3 with Secondary Suite

REPORT PREPARED BY: Luke Turri

1.0 RECOMMENDATION

THAT Council authorize the issuance of Development Variance Permit No. DVP08-0071, Lot 12, Sec. 32 & 33, Twp. 26, ODYD, Plan 13462, located at 4042 Finch Road in Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 12.3.6(c) Rural Residential Zones – Development Regulations

To vary the front yard setback from 6.0m required to the 5.66m proposed.

2.0 SUMMARY

The applicant is seeking to vary the front yard setback for their property from 6.0m required to 5.66m proposed to allow for the construction of an addition to their existing dwelling, including a garage.

3.0 BACKGROUND

The property is a deep lakeshore lot which has a great deal of slope. The applicant is proposing to add an addition to their existing dwelling near the front of the lot, which would include a three car garage. Given the placement of the current residence and the slope of the front yard, it would be difficult to place the addition within the required 6.0m setback. The foundations for the addition have already been put into place. The building permit for the addition is pending the required variance.

The application meets the development regulations of the RR3s – Rural Residential 3 with Secondary Suite zone as follows:

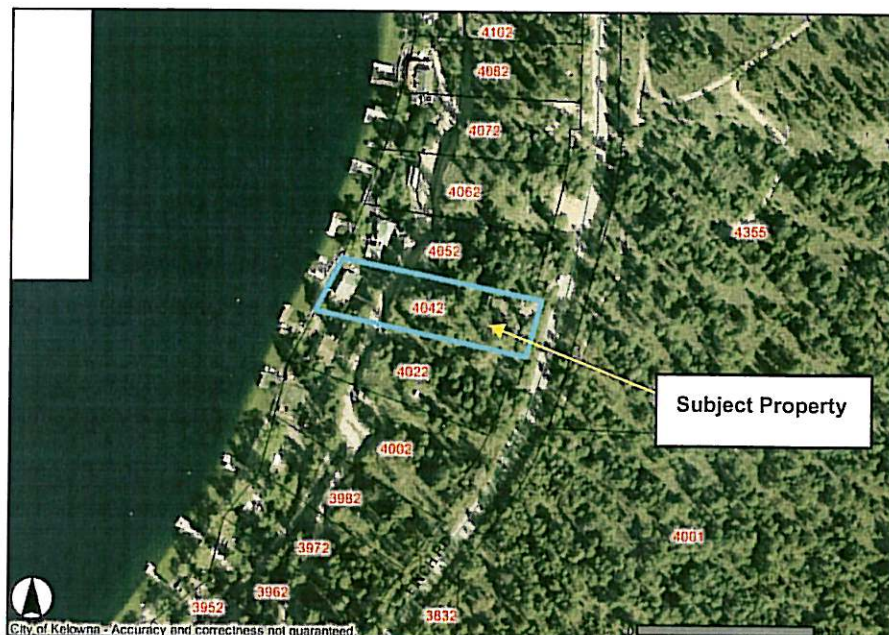
Zoning Bylaw No. 8000		
CRITERIA	PROPOSAL	RR3(s) ZONE REQUIREMENTS
Subdivision Regulations		
Lot Area	3299 m ²	1600 m ²
Lot Width	30.48 m	18.0 m
Lot Depth	78.40 m	30.0 m
Development Regulations		
Site Coverage (buildings)	>30%	30%
Site Coverage (buildings/parking)	>50%	50%
Height (existing house)	7.01 m	9.5 m
Front Yard	5.66 m*	6.0 m
Side Yard (south)	3.31 m	2.3 m
Rear Yard	>7.5 m	7.5 m

* Requires variance

4.0 SITE CONTEXT

Site Location Map

The subject property is located in McKinley Landing along Okanagan Lake. The lakeshore in this area is comprised of rural homesites, with two large agricultural properties to the east.



Adjacent zones and uses are:

North	RR3 – Rural Residential 3
East	A1 – Agricultural 1
South	RR3 – Rural Residential 3
West	W1 – Okanagan Lake

5.0 TECHNICAL COMMENTS

5.1. Environmental Manager

The Environment Division does not have any concerns with the proposed front yard setback variance.

5.2. Works & Utilities

This application to vary the retaining wall height does not compromise Works & Utilities servicing requirements.

6.0 PLANNING AND DEVELOPMENT SERVICES DEPARTMENT

Planning staff are supportive of this variance proposal. Given the topographical constraints of the lot and the placement of the existing residence, this minor variance is acceptable. The change in setback would have very little impact on the surrounding properties. Both neighbouring residential properties have consented to the variance proposal.

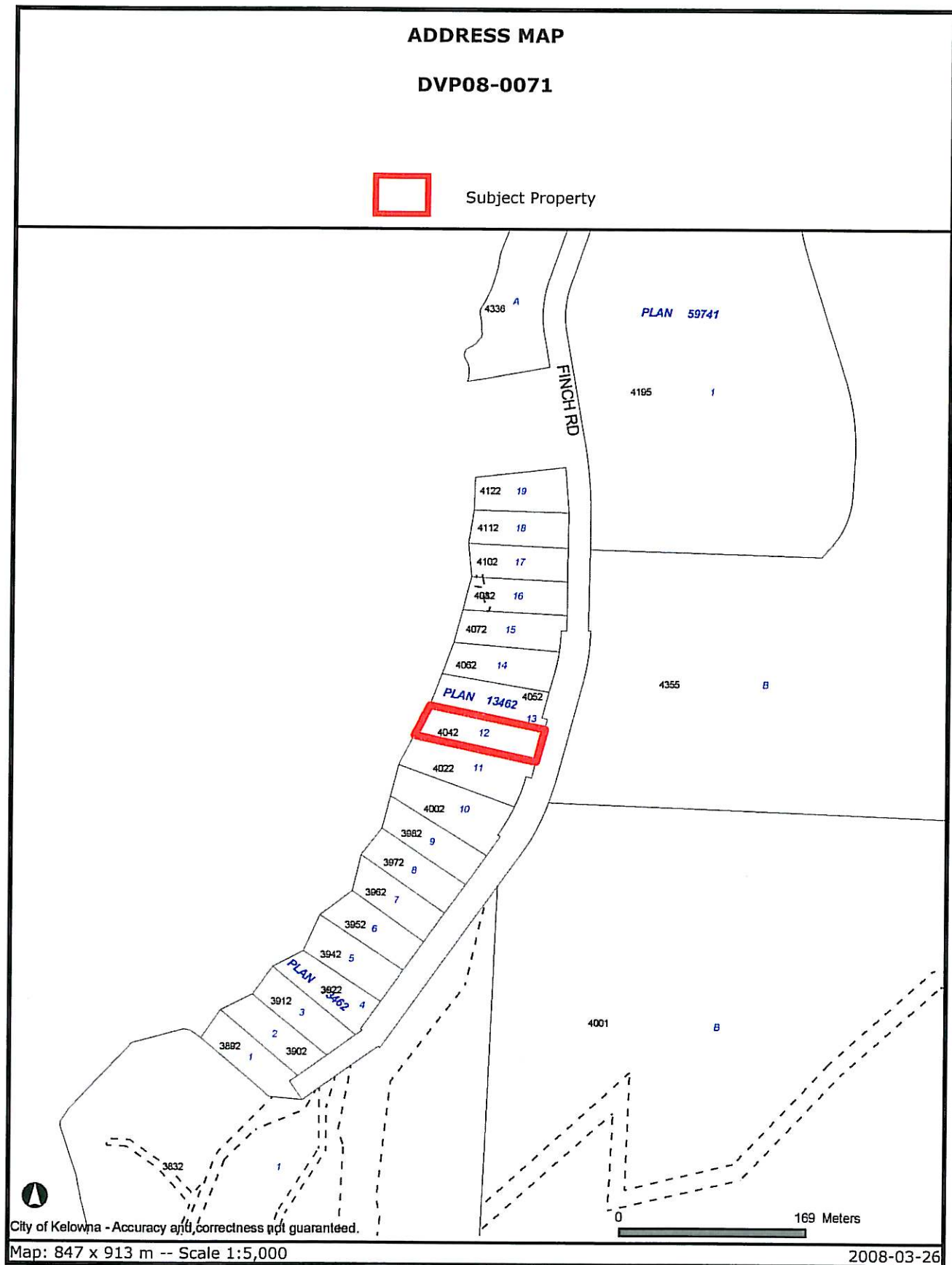


Danielle Noble
Current Planning Supervisor

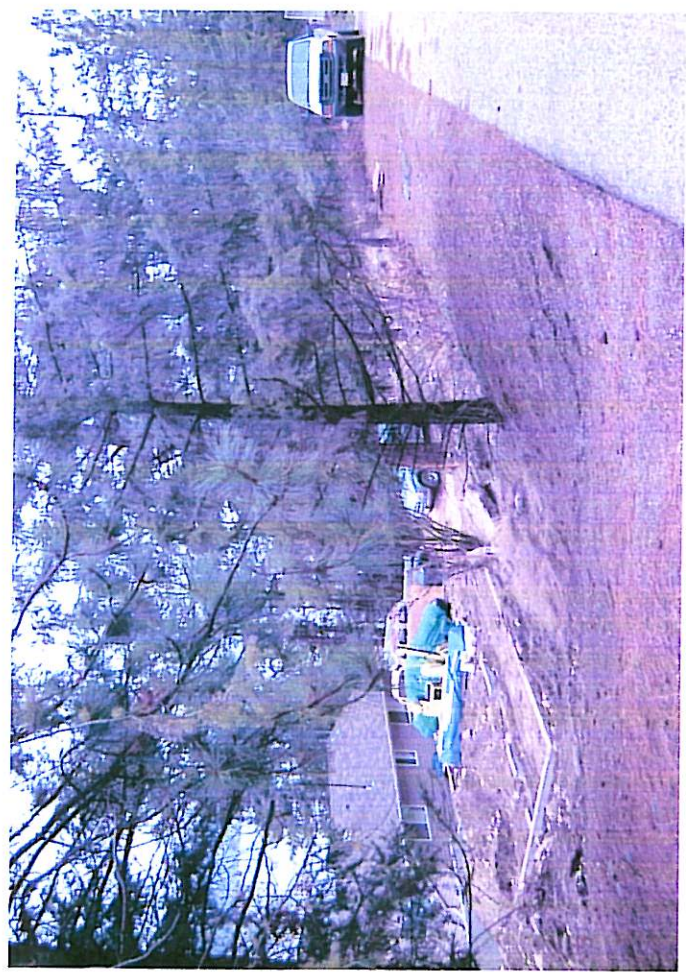
DN/lt

ATTACHMENTS

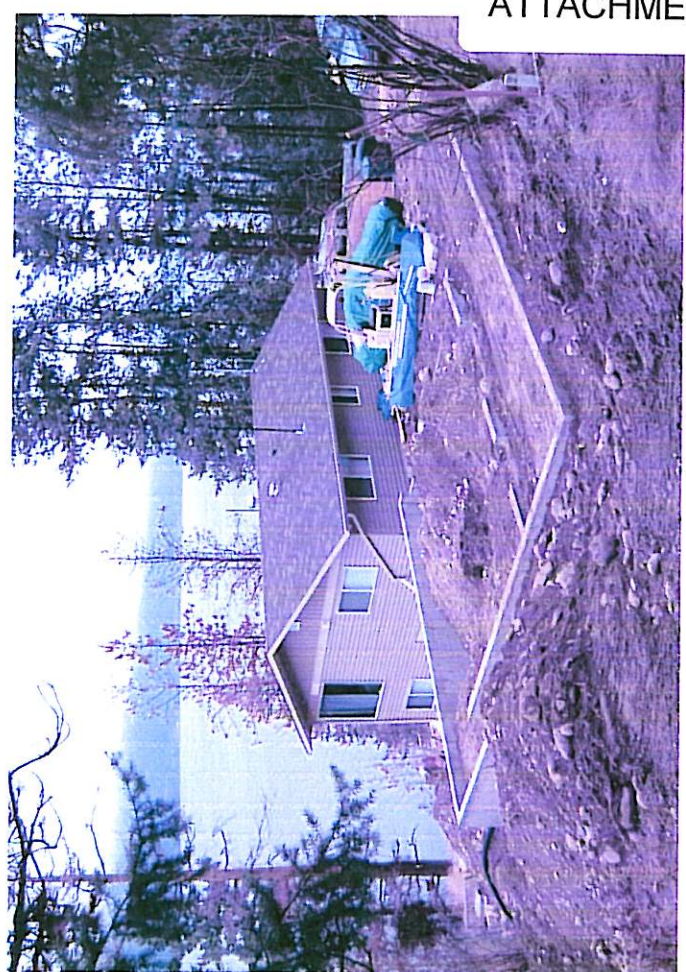
- A Location of subject property**
- B Site Plan/Elevations**
- C Photos of Site**



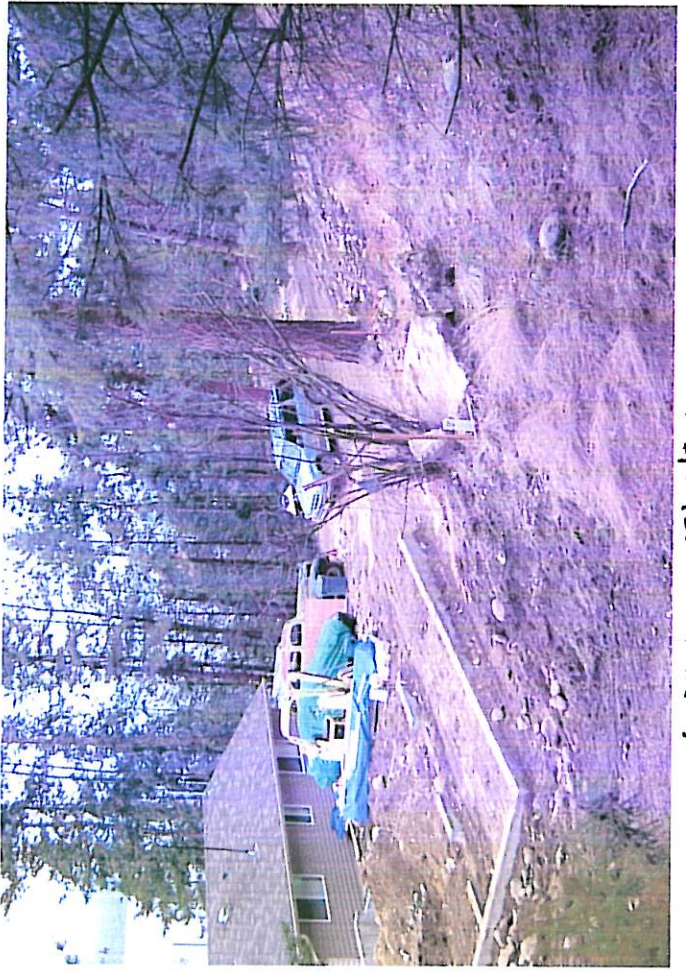
Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
The City of Kelowna does not guarantee its accuracy. All information should be verified.



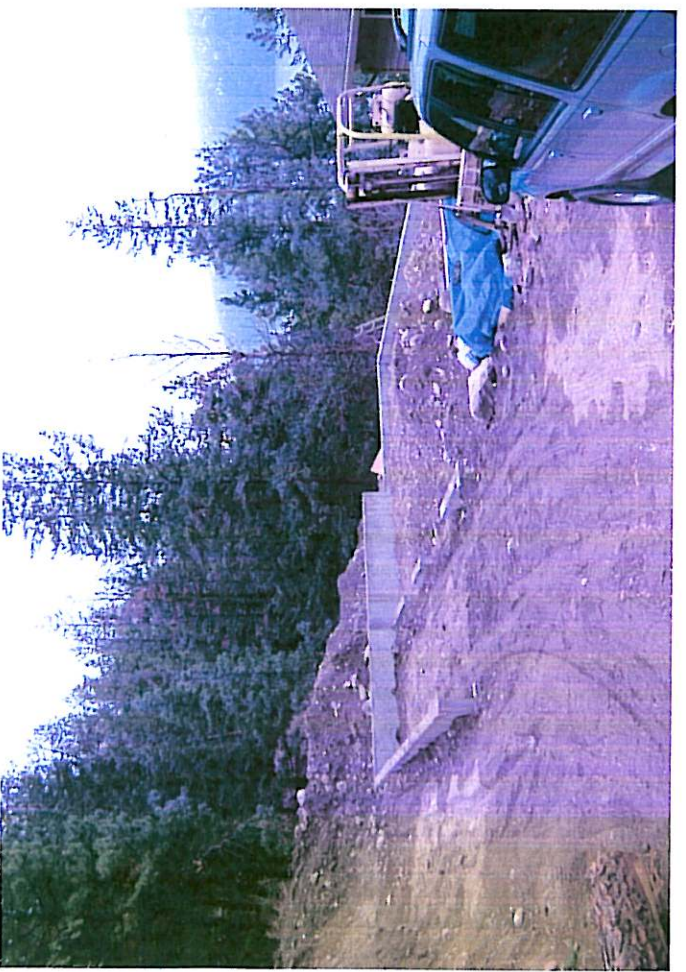
LOOKING NORTH-WEST



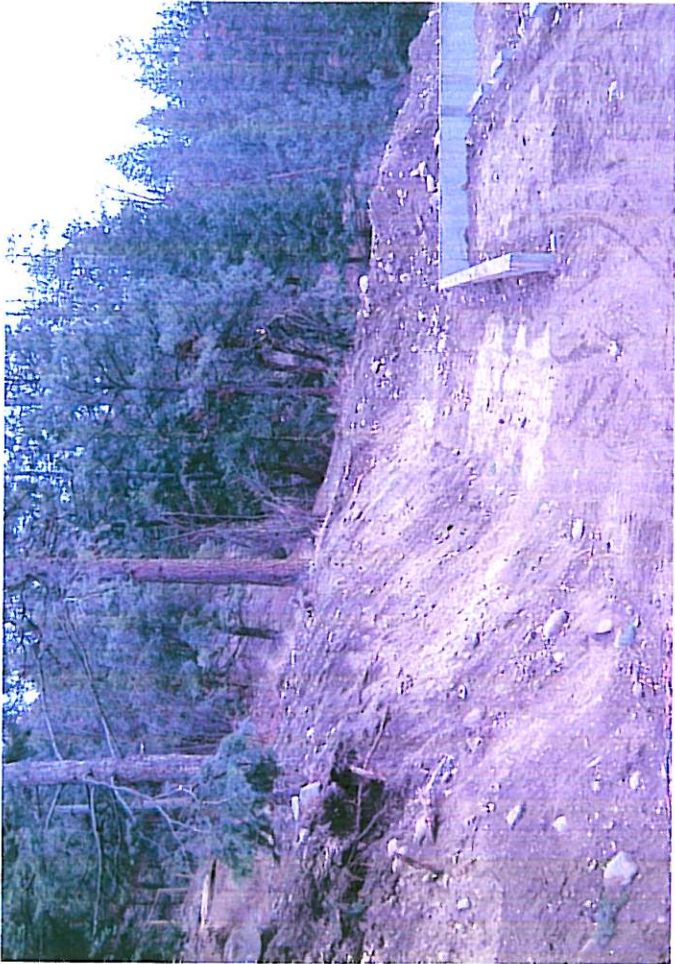
LOOKING NORTH - WEST



LOOKING NORTH - WEST



LOOKING SOUTH



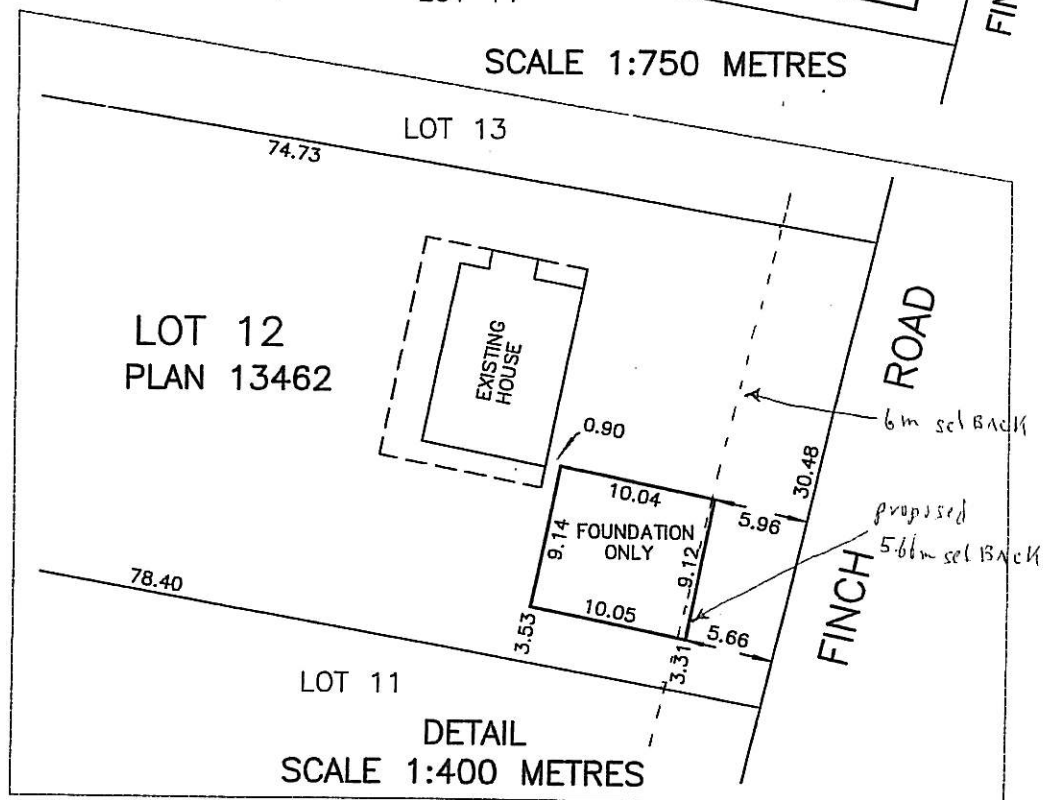
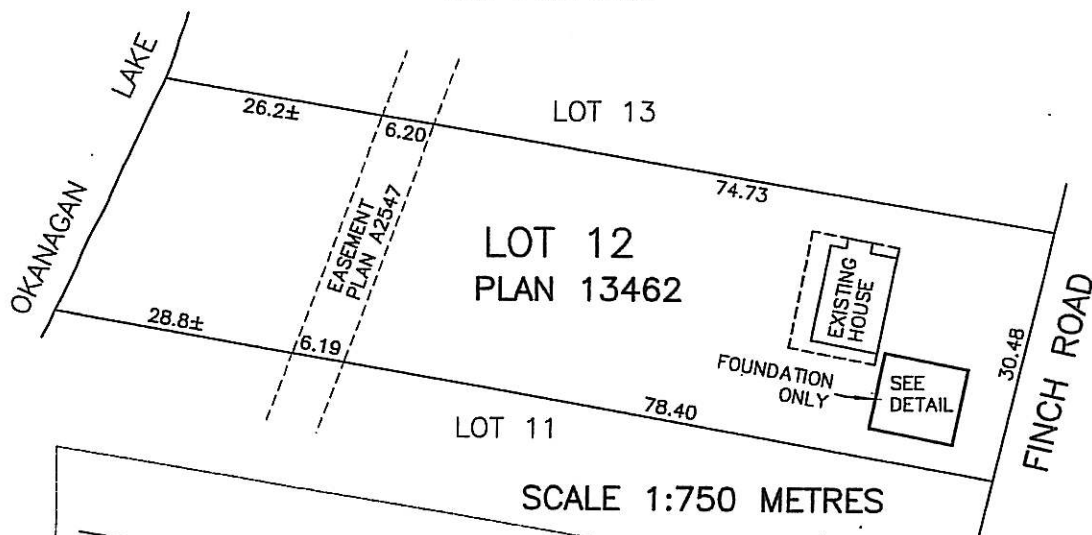
LOOKING SOUTH



LOOKING WEST

B.C. LAND SURVEYORS CERTIFICATE OF LOCATION ON LOT 12, PLAN 13462, SECTIONS 32 AND 33, TOWNSHIP 26, ODYD

4042 FINCH ROAD



I HEREBY CERTIFY THAT THE ABOVE
SKETCH SHOWS THE REGISTERED
DIMENSIONS OF THE ABOVE DESCRIBED
PROPERTY AND RELATIVE LOCATION OF
THE BUILDINGS THEREON.

THIS PLAN IS FOR THE USE OF THE BUILDING INSPECTOR AND/OR MORTGAGEE ONLY
AND IS NOT TO BE USED FOR THE RE-ESTABLISHMENT OF PROPERTY BOUNDARIES.

CLIENT: JOHN HAWKINS

DATE: JANUARY 16, 2008

SCALE: AS NOTED

FILE: 14923

© T.E. FERGUSON LAND SURVEYING LTD.

T.E. Ferguson Land Surveying Ltd.

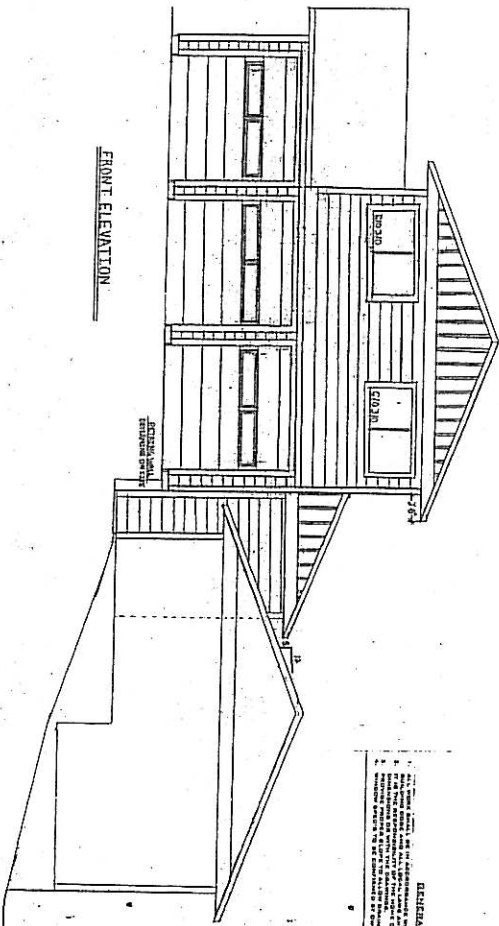
B.C. AND CANADA LAND SURVEYORS
216-1626 RICHTER STREET, KELOWNA, B.C.
TELEPHONE: (250) 763-3115
FAX: (250) 763-0321

THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY
SIGNED AND SEALED

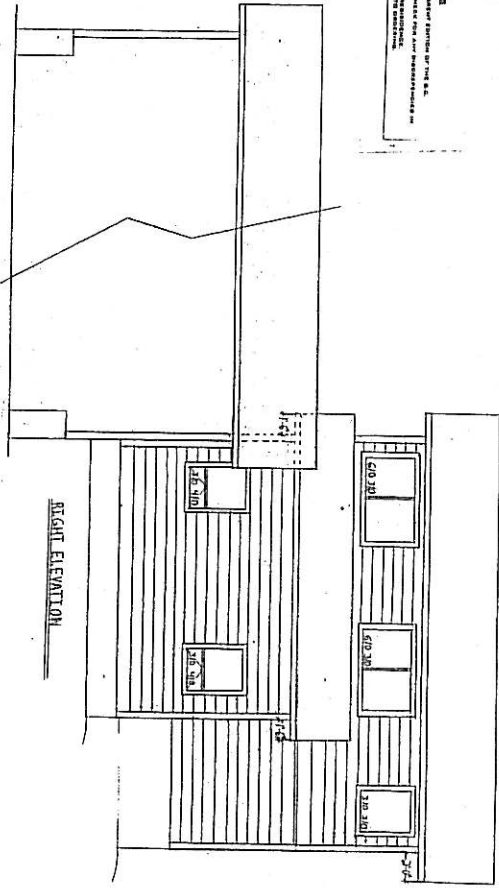
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GENERAL NOTES
1. The owner hereby certifies that the information furnished herein is true and correct to the best of his knowledge and belief.
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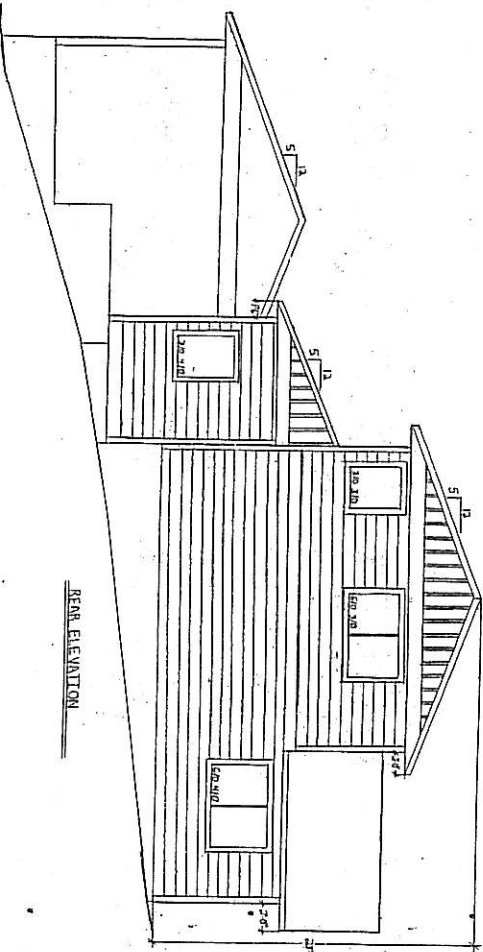
FRONT ELEVATION



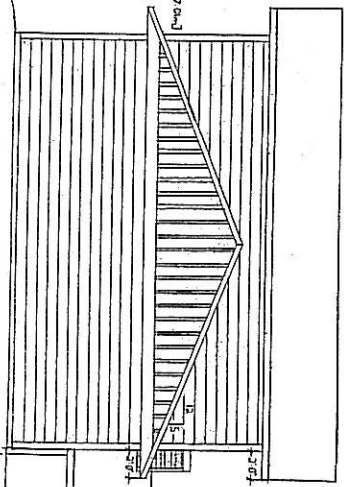
RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RECEIVED
CITY OF ALBANY
PLANNING DEPT.

EXISTING RESIDENCE
31'0" x 24'0"

REAR PORCH

APPROVED FOR THE CITY OF ALBANY
DATE: MAY 21, 2007
DRAWN BY: J. J. JONES

PAGE 1 OF 1
PROJECT: 4042 FISH RD. WHITEFIELD, N.H.
DATE: MAY 21, 2007
DRAWN BY: J. J. JONES